

COUNTY OF POWHATAN
MINOR SITE PLAN APPLICATION

Case #
Date

Please complete all applicable sections of the application form.
An incomplete form will be returned to the applicant.

1. Property Information

Location:

Tax Map Reference:

2. Applicant Information

(A) Owner of record

(B) Agent

3. Proposed Use/Structures to be erected:

4. Planning Information

(A) What is the designation of the subject lands in the adopted Land Use Plan?

(B) What is the zoning of the subject lands, and any proffered conditions?

Prior to submittal the lands must be appropriately zoned.

5. Utility Servicing:

Indicate the proposed method of servicing:

(A) Water supply:

County (piped) private individual wells other

(B) Sewage disposal:

County (sewers) private individual systems other

(C) Storm drainage

A land disturbance application is required for all developments, greater than 10,000 square feet [0.23 acre] in area, outlining the means by which stormwater will be conducted both on-site and on adjacent lands. This permit application should also indicate the means by which erosion, siltation and sedimentation will be minimized during and after construction.

Applicable Not Applicable

6. Access

(A) Is there direct access from the subject lands to a publicly maintained road?

yes no If no, what provision is there for access to the subject lands?

(B) Have proposed access points to abutting roads, widening of abutting roads, internal road widths and pattern been discussed with the:

County Planning Department? yes no

Virginia Department of Transportation? yes no

7. Surrounding Lands

(A) What are the adjacent land uses

North _____

East _____

South _____

West _____

8. Site Appraisal

List any present or past use of this property and any existing structures thereon.

9. Declaration

I, _____ of the _____ of

solemnly declare that I am (indicate one)

- owner agent of owner
 an officer of the owner an officer of the agent

and that all the statements contained within this application are true, and I make this solemn declaration conscientiously believing it to be true.

10. Owners Authorization

If an agent is used, the owner must also complete the following. If there is more than one owner please also complete a disclosure form.

I, _____ being the owner of record of the subject lands, hereby authorize, _____ to prepare a site plan and make application to the County of Powhatan for approval thereof.

Signature of Owner of Record

SITE PLAN REVIEW CHECKLIST

Case Number: _____ Name: _____

Review Date: _____ Review By: _____

Associated Cases: _____

APPLICATION:

- ____ A pre-application conference was held with County Planning staff. (598-5692)
- ____ A copy of the Zoning Ordinance was received (if requested)
- ____ Ten [10] copies of the site plan are enclosed. All plans submitted must be folded to letter or legal size [8" x 11" or 8" x 14"] with the title facing out.
- ____ Two [2] folded copies of the landscape plan folded to letter or legal size [8" x 11" or 8" x 14"] with the title facing out.
- ____ Two [2] folded copies of the building plans (containing foundation plan, floor plan, building materials and elevations) folded to letter or legal size [8" x 11" or 8" x 14"] with the title facing out.
- ____ Two [2] folded copies of the lighting plan folded to letter or legal size [8" x 11" or 8" x 14"] with the title facing out.
- ____ Eight [11" x 17"] copies of the site layout, floor plan, building materials, elevations and color schemes for review by the Architectural Review Board.
- ____ One [11" x 17"] reduction of the site plan, suitable for reproduction, is enclosed.
- ____ Application fee, payable to the Treasurer of Powhatan County, is enclosed.
- ____ Proof of ownership submitted [last page of application].

SPECIFICATIONS:

- ____ Title of project (30.4-1.)
- ____ Location of site by insert map at a scale no less than one inch equals 2,000 feet (30.4-2.)
- ____ North Arrow and datum (30.4-3.)
- ____ Zoning designation (30.4-3.)

- ___ Tax parcel number (30.4-3.)
- ___ Adjoining landowner information. Names and addresses of landowners abutting or within 300 feet of the property subject to this application (30.4-3.)
- ___ Names and numbers of adjacent roads, streams, bodies of water and subdivisions (30.4-3.)
- ___ List of all proffered conditions of rezoning, if any (30.1-1.a-c.)
- ___ Boundary survey of site (30.4-4.)
- ___ Location of all required yards (30.4-4.)
- ___ Existing and proposed buildings and structures (30.4-5.)
- ___ Existing and proposed streets including names, numbers and width (30.4-5.)
- ___ Existing and proposed easements including recording information and width (30.4-5.)
- ___ Existing and proposed utilities and watercourses (30.4-5.)
- ___ Location, type and size of all entrances to the site (30.4-6.)
- ___ Location of graves, objects or structures marking burial places (30.4-7.)
- ___ Existing topography (maximum 10 foot contour intervals) and proposed finished contours (30.4-8.)
- ___ Table of information including the following: (30.4-9)
 - ___ Current zoning district classification
 - ___ Water (public or private)
 - ___ Sewer (public or private)
 - ___ Area of parcel and applicants' adjoining holdings, if any (acreage)
 - ___ Area of site (square feet and/or acres).
 - ___ Area of proposed buildings (square feet).
 - ___ Area of existing buildings (square feet).
 - ___ Number of parking and loading spaces required and provided.
 - ___ Estimate of trip generation rate for the proposed development as specified in the latest edition of the manual entitled Trip Generation by the Institute of Transportation Engineers. (available for use in the Powhatan County Planning Department.
 - ___ For a multifamily residential development, the number, size and type of dwelling units, location, type and percentage of total acreage of recreation facilities. (30.4-9.a-f)

SITE LAYOUT: (30.4-5)

- ___ Proposed type of business labeled
- ___ Lot, parcel width
- ___ Building setbacks; front, side, rear yards
- ___ Parking lot, paving for travelways (24')
- ___ Developments intended to be constructed in phases shall graphically show the proposed phasing

ROAD ACCESS AND INTERNAL CIRCULATION: (30.4-6.)

- ___ Location, type, size of all entrances to site. VDOT Site Plan Inventory Checklist attached (674-2800)
- ___ Acceleration/deceleration turn lane and taper at site entrance(s).
- ___ Shoulder and ditch relocation along public road frontage(s).
- ___ Traffic circulation within the site.
- ___ Designation of pedestrian walkways within site.
- ___ Connection of walkways, travel lanes, driveways with:
- ___ Future phases of development
- ___ Adjacent parcels
- ___ Compliance with Powhatan County Access Management.

PARKING: (30.4-14.)

- ___ Provisions for parking including parking lot design and interior parking lot landscaping in accordance with Article 26 of the Zoning Ordinance.
- ___ Surface treatment
- ___ Interior parking lot landscaping

TREE PRESERVATION AND LANDSCAPING: (30.4-10.)

- ___ A *separate* tree preservation and landscape plan in accordance with Article 27 of the Zoning Ordinance.
- ___ Landscape plan prepared by a Certified Landscape Architect, certified member of the Virginia Society of Landscape Designers, or a Certified Virginia Nurseryman for projects with buildings over 2,500 sq. ft. or where over 10,000 sq. ft. of land area will be disturbed.
- ___ Existing trees and shrubs to be retained (reduces amount and cost of required landscaping).

BUFFERS: (30.4-10.) (30.4-20.)

- _____ Buffers provided in accordance with Article 27, Section 27.6(1) of the Zoning Ordinance.
- _____ Buffer or landscaped/architectural screen between business or multi-family and any adjoining Agricultural or Single Family Residential Zoning Districts.

SCREENING: (30.4-17.) (30.4-19) (30.4-20.)

- _____ Screening provided in accordance with Article 27, Section 27.6(2) of the Zoning Ordinance.
- _____ Location of dumpsters, recycle bins and details on screening.
- _____ Location of loading areas and details on screening.
- _____ Location of outside storage areas or heavy equipment storage and details on screening.
- _____ Location of HVAC equipment and details on screening

BUILDING SPECIFICATIONS: (30.4-13.) (30.4-19.)

- _____ Information on all proposed buildings to assure compliance with the Architectural Design Standards for Businesses as described in Article 31 of the Zoning Ordinance.
 - _____ Building elevations depicting profiles of all sides.
 - _____ Building materials.
 - _____ Building colors.
 - _____ Building heights.
 - _____ Floor plans.
 - _____ Perimeter fencing details.
 - _____ Roof heating, ventilation, and air conditioning (HVAC) equipment screening.

BUILDING PLANS FOR ARCHITECTURAL REVIEW BOARD: (30.2.) (30.4-13.) (30.7-3)

- _____ Eight sets of Floor plans reduced to [11" x 17"]
- _____ Eight sets of Elevations of all sides of the buiding(s) and building materials [11" x 17"]
- _____ Eight sets of Color schemes showing all sides of the building(s) [Minimum size: 11" x 17"]
- _____ Eight sets of the Site Layout sheet reduced to [11" x 17"]

LIGHTING: (30.4-15.)

- _____ Provisions for lighting the site in accordance with Article 27A of the Zoning Ordinance.
 - _____ Building exteriors
 - _____ Walkways
 - _____ Parking and loading areas
- _____ Details on light fixtures
 - _____ Measures to shield light sources from direct view from outside the boundaries of the parcel.
 - _____ A photometrics plan for lighting the site is required.

LIGHTING PLAN REQUIREMENTS: (30.4-15.) (Article 27A.4)

- _____ Site plan drawn to scale showing building(s), landscaping, parking areas and proposed exterior lighting fixtures.
- _____ Location of all post, canopy, supports and light fixtures, including the height of each fixture, for any building, structure, parking display and loading areas.
- _____ Specifications of the illuminating devices, lamps, supports, and other devices including designation as Illuminating Engineering Society of North America (IESNA) "cut-off" fixtures.
- _____ Plan shall show locations of all pole mounted and building mounted fixtures and a numerical 25 foot by 25 foot grid of lighting levels, in footcandles, that the fixtures will produce on the ground (photometric report)
- _____ The photometric report will indicate the minimum and maximum footcandle levels within the lighted area of the site.

SIGNS: (30.4-18.)

- _____ The location of freestanding sign and/or building mounted sign(Sign Permit application attached).

ENVIRONMENTAL: (30.4-11.)

- _____ Provisions for the adequate control of storm water drainage and erosion and sedimentation, indicating all proposed temporary and permanent control measures.
 - _____ Apply to Planning Dept. (598-5623) for Land Disturbance Permit if more than 10,000 sq. ft. (.23 acre) will be disturbed.
- _____ Provisions for sewage disposal and water supply. Contact Health Dept. (598-5680)
 - _____ Drainfield, well
 - _____ Connection with public water supply and sanitary sewage systems.
- _____ Preliminary Utility Plan showing all new utilities underground.
- _____ Location of any streams on site and necessary buffers.
- _____ Location of any cemetery graves, objects or structures marking burial places.
- _____ Location of any wetlands as defined by the U.S. Army Corp of Engineers.

EASEMENTS: (30.4-5.)

- _____ Description, location, and width of all existing and proposed easements, rights of way, or covenants.

FIRE PROTECTION: (30.4-16.)

- Fire protection measures, where applicable. Check with Fire Chief (598-5646)
- Location of proposed fire hydrants.
- Location of painted fire lanes.
- Provisions for emergency vehicle access.

Within ten (10) working days after receiving a proposed site plan, application form, and administrative fee, the Director of Planning shall determine whether the proposed site plan is in compliance with the provisions of Section 30.4, A Submittal Contents and all applicable provisions of this Ordinance. If the Director of Planning determines that any of the submittal requirements are not applicable to the proposed project, the Director may waive these requirements. The submittal of a site plan with insufficient information shall result in the return of the plans to the applicant without review; such deficiencies shall be noted in writing.

**COUNTY OF POWHATAN
DEPARTMENT OF PUBLIC UTILITIES
REVIEW CHECKLIST FOR WATER AND SEWER PLANS**

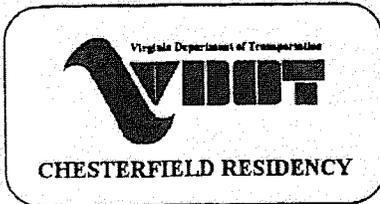
Project Title

- ___ 1. Virginia registered engineer's stamp, signature, and date.
- ___ 2. Engineering Report including a System Layout Plan has been submitted.
- ___ 3. Water System is designed to provide adequate domestic service and fire protection to owner's property. _____
diameter line is required to adequately serve this project.
 - a. Average Domestic Design Flow _____
 - b. Peak Hour Domestic Flow _____
 - c. Design Fire Flow _____
 - d. Total Design Peak Flow _____
 - e. Residual Pressure at Total Design Peak Flow (last hydrant) _____
- ___ 4. Sanitary Sewer Service area map is submitted with plans. Sanitary Sewer Analysis is shown on sewer shed
map. _____" diameter line is required to adequately serve this project.
 - a. Average Design Flow _____
 - b. Equivalent Residential Units _____
- ___ 5. Plan includes location and details for grease trap, monitoring manhole or other devices required by Utility
Standards.
- ___ 6. This is a phased project. Overall water and sewer plans have been submitted for approval with fire hydrants
and valve locations shown.
- ___ 7. Plan and profile sheets are on 24" x 36" paper. Drawing organization and format comply with standards.
- ___ 8. A Cover Sheet is provided which includes the Owner/Developer name and address, project vicinity map, and
Standard Water and Sewer Notes.
- ___ 9. The sewer plans include stationing, pipe size, material, bearings, direction of flow, deflection angles, grade
and distance between centerline of manholes.
- ___ 10. Domestic water meter calculations are shown on plans where applicable in accord with A.W.W.A. Manual M-22.
- ___ 11. I.S.O. Fire Flow computations are shown on plans (where applicable).
- ___ 12. All sanitary sewers are profiled. Crossings with other utilities are shown and conflicts resolved.
- ___ 13. All water mains are profiled.
- ___ 14. Any and all existing sewer and water connections to the property are shown on plans.
- ___ 15. All proposed water and sewer lines connect to existing water and sewer lines which have been previously
accepted by the County for operations and maintenance.
- ___ 16. All off-site easements necessary for the completion of this project have been acquired, recorded, and their Deed
Book and Page references are shown on the plans.
- ___ 17. A list of the Approximate Material Quantities to be used and the latest Material Notes are shown on the plans.
- ___ 18. A Backflow Prevention Device is provided on domestic and fire service connections.
- ___ 19. Plans comply with all applicable Local, State, and Federal regulations including County and State erosion control
ordinances.
- ___ 20. Appurtenances are called out by manufacturer and part number.

I have reviewed this Checklist for accuracy and hereby certify that the water and/or sewer plans as submitted have been designed in accord with the latest County Standards, Waterworks Regulations and Sewerage Regulations (whichever is more restrictive). The plans have been reviewed for completeness and accuracy and are herewith submitted for approval.

_____ P.E. _____
Signature Certificate Number

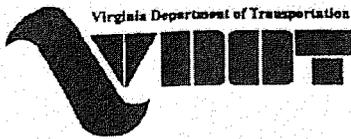
_____ Date
Name Typed or Printed



SUBDIVISION AND SITE CONSTRUCTION PLAN GENERAL NOTES

1. All materials and construction within the public right of way shall be in accordance with current Virginia Department of Transportation's specifications and standards.
2. Land Use Permits (CE-7P) must be obtained from the Virginia Department of Transportation prior to beginning any construction within the existing state maintained right of way (including access).
3. VDOT is to receive written notification 48 hours prior to commencing with initial construction activities.
4. Prior to any construction, the contractor shall consult the engineer and verify the approval of the plans by all applicable federal, state and local agencies.
5. Preliminary design of the pavement structure for all subdivision streets shall be in accordance with the current edition of The Pavement Design Guide for Subdivision and Secondary Roads in Virginia. The completed design worksheet appendix IV shall be included with the initial plan submittal for each proposed pavement section utilizing the predicted soil support value shown in appendix I of The Pavement Design Guide.
6. The contractor shall verify the elevations of all points of connection or proposed work to existing curbs, sanitary lines, water lines, etc., prior to construction.
7. Upon discovery of soils that are unsuitable for foundations, subgrades, or other roadway construction purposes, the contractor shall immediately contact a geotechnical engineer and VDOT. These areas shall be excavated below plan grade as directed by the geotechnical engineer, backfilled with suitable material and compacted in accordance with current VDOT specifications.
8. All storm sewer design and construction to be in accordance with VDOT I & I LD-94 (D) 121.13.
9. All storm sewer pipe shall be reinforced tongue and groove concrete pipe in accordance with ASTM-C-76. Pipe within the right of way shall be a minimum CL-III or greater in accordance with current VDOT standards and specifications.
10. All pre-cast units shall be VDOT approved. Certification and VDOT stamp will be required on all units.
11. All concrete shall be class A3-AE (air entrained 3,000 PSI).
12. All entrances are to be designed and constructed in accordance with current VDOT standards. Residential lot access shall be provided per the following criteria:
 - All driveway entrance culverts are to be 15" diameter x 20' long pipe and shall conform to PE-1 private entrance standards unless otherwise directed by the Resident Engineer. No entrance culverts are to be installed within five (5) feet of a property corner.
 - VDOT standard CG-9D entrances shall be installed in curb and gutter neighborhoods.Contact VDOT for inspection 48 hours prior to entrance installation.
13. The developer is responsible for furnishing and installing stop signs at street intersections.
14. Design changes, specified materials changes and/or field changes from the approved plans need to be re-submitted to VDOT prior to proceeding with the work. A letter of explanation shall accompany the revised plans and/or drainage calculations, which must be submitted, to VDOT for review and approval by the Resident Engineer.
15. Contractor shall verify location and elevation of all underground utilities shown on plans in areas of construction prior to starting work. Contact engineer immediately if location or elevation is different from that shown on plan. If there appears to be a conflict, and/or upon discovery of any utility not shown on this plan, call Miss Utility of Central Virginia at 1-800-552-7001. The developer shall be responsible for the relocation of any utility within existing and/or proposed right of way required by the development.
16. All streetlights shall be located a minimum of 9.5' from the edge of pavement on curb and gutter streets and/or located a minimum of 5.5' behind the ditch line on open ditch streets.

17. Generally, paved roadside ditches are to be specified when velocities exceed current VDOT design criteria or when ditch slopes are less than 0.75%. Where ditch slopes exceed 5.0%, the developer may choose to implement erosion and sediment control measures in an attempt to achieve channel stabilization while acknowledging that additional paved ditch linings may be required prior to acceptance of the roads into the secondary system of state highways. Paved roadside ditches shall conform to VDOT-PG-2A standards and specifications.
18. VDOT approval of construction plans does not preclude the right to require additional facilities as deemed necessary for acceptance of the roads into the VDOT Secondary Road System.
19. VDOT approval of these plans will expire five (5) years from the date of approval.
20. VDOT shall have performed the required field inspection (proof roll) prior to placement of the aggregate base course(s). Contact VDOT for subgrade inspection 48 hours prior to scheduling placement of aggregate base course(s).
21. A prime coat seal between the aggregate base and bituminous concrete will be required at a rate of 0.30 gallons per square yard (REC-250 Prime Coat) per VDOT standards and specifications.
22. The scheduling of aggregate base installation and subsequent paving activities shall accommodate forecast weather conditions per Section 315 of The Road and Bridge Specifications.
23. VDOT shall have approved the aggregate base course(s) for depth, template and performed the required field inspection (proof roll) prior to placement of any surface course(s). Contact VDOT for inspection of the aggregate base course(s) 48 hours prior to application of the surface course(s).
24. An actual copy of the complete CBR report is to be submitted to VDOT in conjunction with final pavement designs. All pavement design recommendations shall be performed in accordance with the current edition of The Pavement Design Guide for Subdivision and Secondary Roads in Virginia.
25. A geotechnical engineer is to ascertain cause and certify recommended method of repair for all pavement structural failures prior to state acceptance.
26. All vegetation and organic material is to be removed from the right of way limits prior to conditioning of the subgrade.
27. All materials shall be in accordance with the VDOT Road and Bridge Specifications and Road and Bridge Standards.
28. Dry gutter is not allowed in VDOT right of way.
29. The developer will be responsible for the design costs of any traffic signal installation and/or modification under an account receivable with VDOT.
30. The necessity and locations for additional VDOT standard underdrains to be determined at time of subgrade inspection.
31. Approval of a detailed construction sequencing/maintenance of traffic narrative for the work zone is a prerequisite for issuance of a Land Use Permit allowing access to and construction within VDOT maintained right-of-way.
32. VDOT shall be provided documentation by a geotechnical engineer, certifying that all in-place pavements meet or exceed the approved pavement design thickness prior to state acceptance.
33. The establishment of a temporary vegetative cover is required on all denuded areas that are not to be fine graded for periods longer than 30 days.
34. No structure shall be constructed on state maintained rights of way unless said structures are shown on road construction plans approved by VDOT or such structures are covered by a VDOT Land Use Permit (or by a letter of intent from the Resident Engineer to issue said permit at the time of state acceptance).



CHESTERFIELD RESIDENCY

SUBDIVISION AND SITE CONSTRUCTION PLAN SUBMITTAL CHECKLIST POWHATAN COUNTY

Residential Projects: 674-2557

Commercial Projects: 674-2556

PROJECT NAME _____ SECTION _____
 DEVELOPER/OWNER _____
 ENGINEER _____

GENERAL INFORMATION

PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
1.	Project Name. Owner/Developer name, address, telephone and fax number.			
2.	Date of plan.			
3.	Standard cover sheet with surveying & mapping control information. Vicinity map (1" = 2000') & title block information section completed.			
4.	North arrow, designation of north orientation, match lines, scale & sheet numbers for each sheet.			
5.	Seal & signature of registered professional engineer or land surveyor on each sheet.			
6.	Total acreage, current zoning, & proposed zoning by acres.			
7.	Adjacent parcel identification: tax map reference numbers, owners names, & present zoning/use of all abutting parcels.			
8.	Date of tentative approval with case number.			
9.	Master plan (all phases or proposed sections).			
10.	Complete site layout: sequential numbering & size (in sq. ft.) of each proposed lot and/or unit.			
11.	State route numbers & names on all existing streets to which connections are to be made.			
12.	All proposed street names.			
13.	Right-of-way lines, width, centerline (stationed at 100' intervals), limits of construction & pavement width or back of curb width.			
14.	General notes explaining details of plan.			
15.	Existing and/or proposed dams, detention basins & any extrinsic structures.			
16.	Grading plan: existing contours, proposed contours, finished floor elevations, design layout for drainage system.			
17.	Legend detailing graphic descriptions for all road items, drainage & utility items shown.			

PROJECT NAME _____

GENERAL INFORMATION (CONTINUED)				
PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
18.	Any zoning waivers, variances, proffers and/or imposed conditions for the project submitted with the plans.			
19.	Written description of all plan revisions shall accompany all revised plans submitted for re-evaluation & approval.			

GEOMETRICS				
PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
1.	Location of project entrance & distance measured to nearest intersection of state route or crossovers for field verification of sight distance.			
2.	Existing entrance, street connections, crossovers, etc., located along state route that may be affected by the development.			
3.	Existing & proposed rights-of-way, width, & route number.			
4.	Centerline curve data: delta, radius, arc length, chord & tangent, stationing at intersections, PC's, PT's, etc.			
5.	Actual line & length of horizontal sight distance at street intersections & any sight distance easements which may be required.			
6.	Depending on method of stormwater conveyance, either radius of all curb returns to back of curb or fillet radius to edge of pavement. Label entrance standard CG-11 and any curb and gutter standards.			
7.	Proposed building location, use sq. footages & offset distance to property lines (sites only).			
8.	All temporary turnaround construction & easements as indicated on the preliminary plans (including radii).			
9.	All proposed property frontage & intersection improvements within the right-of-way.			
10.	Complete dimensions of existing & proposed deceleration, left & right turn storage lanes.			
11.	Road classification schedule with pavement designs.			
12.	Complete typical sections based on road classifications.			
13.	Guardrail where required.			
14.	CG-12 where required.			

PROJECT NAME _____

PROFILE AND GRADE				
PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
1.	Existing ground line at centerline, left & right (along edge of Right-of-way).			
2.	Finished grade line for mainline & connections. a. Percent of grade, change of grade elevations (PVI) & length of curves. b. Finished grade elevations (50' tangent, 25' curve) & at intersections, PC's, PT's, etc. c. Complete stationing at intersections, PC's, PT's, etc. d. Street names. e. "K" values used for determining minimum sag lengths. f. Vertical sight distance for crests. g. Actual line & length of vertical sight distance at street intersections.			

HYDRAULICS				
PLAN SHEET TO INCLUDE		YES	NO	COMMENTS
1.	Detailed drainage area map defining corresponding sub-areas used for computations showing centerline stationing at 100' intervals, intersections, PC's, PT's, etc., & the proposed storm sewer layout.			
2.	Reference to the hydrologic methodology used including supporting data used in computation of "Q". a) The listed coefficients or "C" values. b) Computations of weighted coefficients "C _w ".			
3.	Complete design computations per the following criteria: a) Culverts & closed storm sewer system design capacity for 10-year or 25-year & also capacity computation for 100-year. b) Cross-culverts computations showing sizes, end treatments, length, skewed angles, type of pipe, design cover, invert in & out elevations, outlet velocity. The pertinent calculated information incidental to the design of the culvert shall be tabulated on VDOT standard form LD-269, "Culvert Design Computation." c) Closed storm sewer system include size, velocity, capacity, actual design Q's, length & slope of the pipes, the invert in & out elevations. Pertinent calculated information incidental to the design of the pipeline shall be tabulated on VDOT standard form LD-229, "Storm Sewer Design Computations." d) Curb drop inlet spread shall determine the spacing of inlets for a rainfall intensity of 4.0 inches per hour. Include approach spread at sag inlets; spread lengths, depth of water, length on the inlet & height of the inlet slots. 100-year check storm for all sag inlets. e) Hydraulic grade lines or water surface profile include water surface elevations vs. rim elevations. The H.G.L. for storm sewer systems shall be tabulated on VDOT standard form LD-347 for 10-year & 100-year storms, when involved with a designated 100-year flood plain.			

PROJECT NAME _____

HYDRAULICS (CONTINUED)				
PLAN SHEET TO INCLUDE		YES	NO	COMMENTS
3.	<p>f) Open channel computation for 2-year frequency is to be used for determining the need, type & dimensions of special ditch lining for erosion. 10-year frequency shall provide sufficient hydraulic capacity of the channel. Include MS-19 calculations for adequacy of existing channel, as stated in the <u>VA. Erosion & Sediment Control Handbook</u>.</p> <p>g) Include supporting computations for all special design structures such as special design endwalls, inlet, flumes, energy dissipaters, channels, etc.</p>			
4.	Detailed description of all proposed storm sewer structures.			
5.	Graphic details for all non-standard drainage facilities.			
6.	Directions of drainage flow for streets, storm sewer, valley gutters, subdrains, etc.			
7.	Field location for all natural watercourses or drainageways affected by construction, including direction of flow.			
8.	All existing & proposed storm drainage systems in plan & profile views.			
9.	Field located limits of 100-year flood zones & backwater inundation.			
10.	Existing and/or proposed VDOT drainage easements dimensioned & labeled.			
11.	Driveway entrance culvert sizing computations for each lot.			
12.	<p>Show all types of required underdrains with outlet locations clearly identified and defined.</p> <p>A. CD-1 required for fill to cut transition.</p> <p>B. CD-2 required for sag situations</p> <p>C. All CD's shall be connected to nearest outfalls.</p> <p>D. UD-4 or UD-5 required for all medians.</p> <p>E. UD-4 edge drains on roadways with design ADT of 1,000 vehicles per day or greater.</p> <p>F. EW-12 required for all outfalls to ditchlines.</p>			

EROSION CONTROL				
PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
1.	Erosion control plan when disturbing over 10,000 sq. ft. within existing VDOT right-of-way.			
2.	Location of temporary construction entrance(s) accessing state maintained right-of-way.			
3.	Reference to the required establishment of a temporary vegetative cover on all denuded areas within right-of-way that are not to be fine graded for periods longer than 30 days.			

PROJECT NAME _____

UTILITIES				
PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
1.	Alignment & dimensioned location of all existing utilities within limits of existing & proposed right-of-way.			
2.	Alignment & dimensioned location of all proposed utilities to be constructed within the limits of existing & proposed right-of-way.			
3.	Existing & proposed easements, width & use.			
4.	Details showing method of tie-ins within existing right-of-way.			
5.	Details showing required relocations within existing right-of-way.			

PERMIT WORKZONE				
PLAN SHEET TO INCLUDE:		YES	NO	COMMENTS
1.	Detailed work area protection layout, to include a construction sequencing/maintenance of traffic narrative for all construction activities within state maintained right-of-way..			

Notes:

1. The developer is responsible for supplying sufficient information for the Department to determine entrance & road design features to adequately serve the existing roadway & the proposed development.
2. Subdivision plans shall be designed in accordance with VDOT's Subdivision Street Requirements and Road Design Manual.
3. All commercial entrances must meet VDOT standards & specifications as designated in Minimum Standards of Entrance To State Highway.
4. The submission is to include 2 copies of the plans for review. An additional copy of the plans is required once final approval is received.
5. A detailed explanation for all "no" answers if required information is not included in the site plan.



COUNTY OF POWHATAN APPLICATION FOR SIGNAGE

FEE: \$50.00 base plus \$1.00 per square foot over 50 sq. ft.
Maximum fee: \$150.00

Building Mounted Freestanding

The Applicant(s) _____

Address _____

Phone # _____

Zoning of Parcel _____ Tax Map Number of Parcel _____

Linear Feet - Building Frontage _____
(How wide is the front of the building facing the street?)

Height of Sign _____ Sign Area Size: _____ sq. ft.
(Square Feet of Sign Allowed (1.5 sq. ft. X linear ft.))

Wording on the Sign(s) _____

Location of Sign _____
(Address)

Complete for building mounted signage

Where will sign(s) be mounted on the building or canopy? _____
Attach drawing showing sign location on building and /or canopy

How will the Sign be illuminated? Flood Light _____ Internal _____ None _____

Complete for freestanding signage

How will the base be landscaped? _____

Location of Sign _____
(Please indicate location (address) and setback from roadways (minimum 5' from right of way) on a plat of the parcel)

Building Inspections Office approval may be required (see Building Inspections Department)

Building Department/Official Approval Building Permit Number

PLEASE ATTACH SCALED DRAWING OF SIGN SHOWING: SIZE, COLORS, ILLUMINATION, GRAPHIC, HEIGHT, LANDSCAPING, MATERIALS, AND WORDING.

Applicant(s) Signature(s) _____ Date _____

Zoning Administrator

DATE APPROVED _____ DATE DISAPPROVED _____

Case # _____